
ARTICLE

33

OFF-STREET PARKING AND LOADING FACILITIES

SECTION 3300

General Requirements

1. No building or structure shall be erected, substantially altered, or its use changed unless permanently maintained off-street parking and loading spaces have been provided in accordance with the provisions of this order;
2. The provisions of this Article, except where there is a change of use, shall not apply to any existing building or structure. Where there is a change of use, there shall be provided as many of such spaces as may be required by this order;
3. Whenever a building or structure constructed after the effective date of this order is changed or enlarges in floor area, number of employees, number of dwelling units, seating capacity, or otherwise to create a need for an increase in the number of existing parking spaces, additional parking spaces shall be provided on the basis of the enlargement or change. Whenever a building or structure existing prior to the effective date of this order is enlarged to the extent of fifty (50) percent or more in floor area, number of employees, number of housing units, seating capacity or otherwise, said building or structure shall then and thereafter comply with the full parking requirements set forth herein.

SECTION 3310

Parking Space Dimensions

Parking spaces must be designed using the angles, layout and dimensions in Table 33.1.

SECTION 3311

Loading Space Requirement and Dimensions

A loading space shall have minimum dimensions of not less than ten (10) feet in width, fifty (50) feet in length, exclusive of driveways, aisles, and other circulation areas, and a height of clearance of not less than fifteen (15) feet. One off-street loading space shall be provided and maintained on the same lot for every building designed to house uses which require delivery of goods and having a modified gross floor area of up to five thousand (5,000) square feet. One loading space shall be provided for each additional ten thousand (10,000) square feet or fraction thereof designed for such uses. The Zoning Administrator shall have the power to reduce the number of required loading spaces based on the special circumstances of a particular use or site and to place whatever conditions on such an exemption as the Board deems appropriate.

TABLE 33.1

Parking Area Dimensions

A	B	C	D	E	F	G
0°	8	23	8	23	20	12
30°	9	18	17	18	20	15
45°	9	18	19	12.67	20	15
60°	9	18	20.17	10.33	24	20
75°	9	18	19.67	9.33	24	20
90°	9	18	18	9	24	20

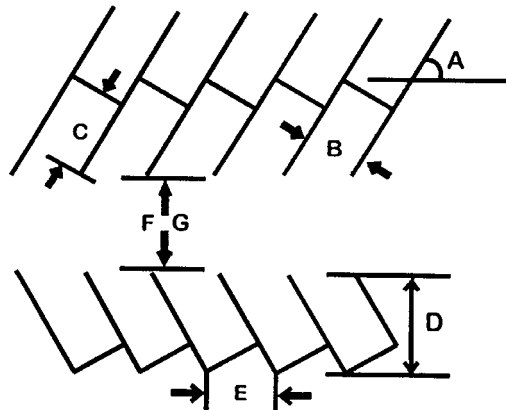
Dimensions in feet

Stall width (B) may be reduced by one foot for low turnover uses, excluding parallel parking.

Stall length (C) may be reduced by 2.5 feet when a clear overhang of 2.5 feet is provided.

Interior parking radii shall be a minimum 5 feet.

- A - angle of parking
- B - stall width
- C - stall length
- D - stall depth
- E - curb length
- F - two-way drive width or double loaded drive width
- G - one-way drive width or single loaded drive width

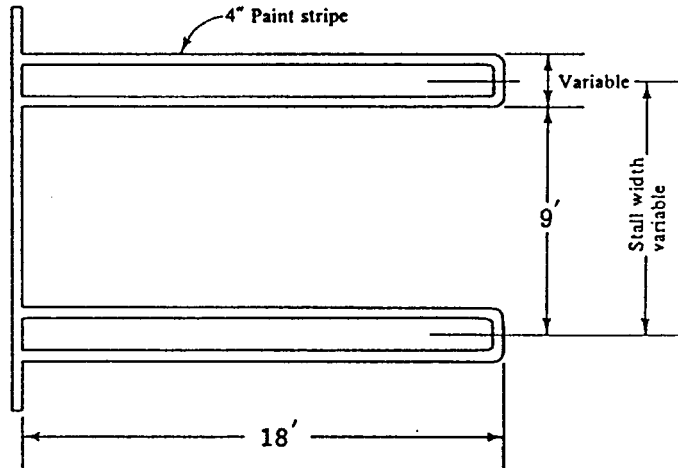


SECTION 3312

Striping and Signage

All parking areas shall be striped to facilitate the movement into and out of the parking stalls. This includes the delineation of access isles and permitted turning movements. The entrances and exits to the parking area shall be clearly marked. All signage and striping will be adequately maintained to insure safe and efficient movement of vehicles (See Figure 33.2).

FIGURE 33.2
Striping of Parking Stalls



SECTION 3312

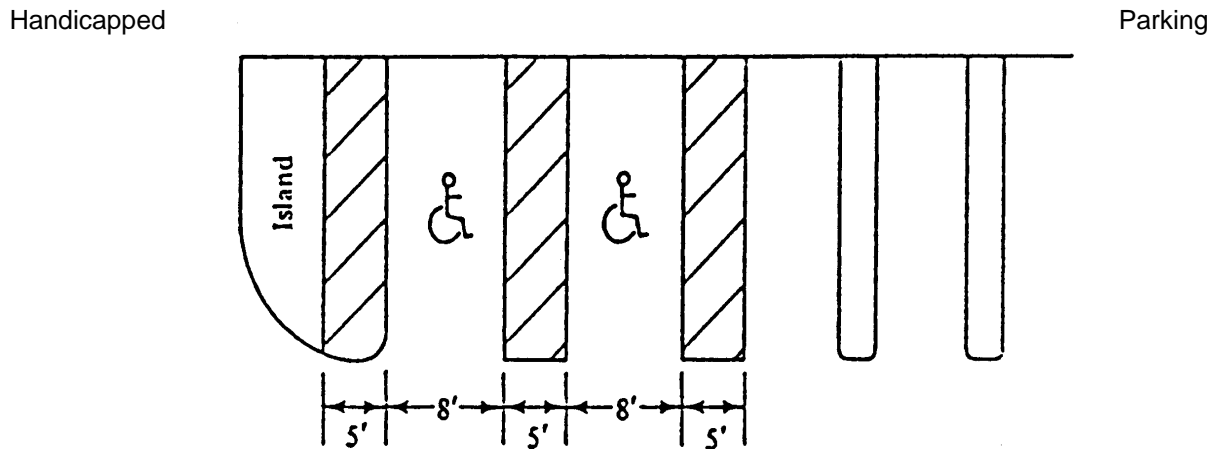
Parking and Passenger Loading Zones for the Disabled

In any commercial or employment district, or wherever any townhouse or multi-family housing is provided, parking spaces for disabled people shall be provided as indicated on the following table:

Parking Spaces for the Disabled	
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
1,001 and over	20 plus 1 for each 100 over 1,000

1. All accessible parking for the disabled shall conform to the applicable requirements in Federal Register/Vol 56, No. 144/Friday, July 26, 1991/Rules and Regulations, 4.0 Accessible Elements and Spaces: Scope and Technical Requirements.
2. Parking spaces for disabled people shall be at least 8 feet wide and 18 feet long, and shall have an adjacent access aisle a minimum of five feet wide (See Figure 33.3). Two handicapped parking spaces may share a common access aisle. One in every eight accessible spaces, but not less than one, shall be served by an access aisle 8 feet wide minimum and shall be designated "van accessible."

FIGURE 33.3

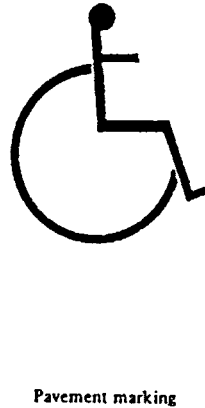
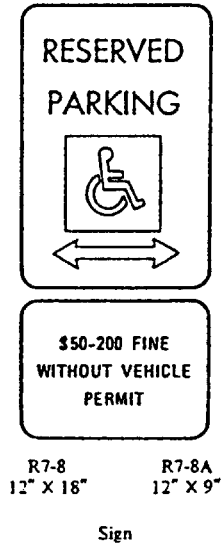


3. Access aisles for handicapped parking spaces shall be part of an accessible route to the building or facility which the parking space serves. An acceptable designed curb ramp shall be provided. Specifications for curb ramps may be obtained from the current Kentucky Building Code - Section 2514.0. Access aisles and accessible routes shall be protected in such a manner that no part of any vehicle or any structure shall be allowed to interfere with access or use of the aisle or route in any way.
4. The location of parking spaces should be as close as possible to the principal handicapped accessible entrance(s). In a multi-building development or shopping center, the spaces should be dispersed to ensure easy access and minimize the travel distance for the handicapped.
5. Parking spaces for the disabled shall be designated as reserved for the disabled by a sign showing the international symbol of accessibility. Such signs shall be above grade (See Figure 33.4). Van accessible spaces shall have an additional sign "van accessible" mounted below the symbol of accessibility.

FIGURE 33.4

Handicapped Parking

Signage



SECTION 3314

Paving

All parking and loading spaces set forth in Sections 3311 and 3325, including driveways, aisles, vehicle storage, outdoor storage, and vehicle circulation areas shall be improved with either asphalt concrete or portland cement concrete to provide a durable and dust-free surface. Interlocking, concrete pavers that permit grass to grow through openings are an acceptable substitute for asphalt concrete or portland cement concrete for parking spaces and driveways that serve 50 or less parking spaces provided that at least 50 percent of the paver surface is exposed as the driving surface. Driveways and parking areas serving one single-family residence on a lot of one acre or more in size shall be exempt from this requirement, except in the City of Florence; however, an asphalt concrete or portland cement concrete apron, of a minimum of 19 feet in length for the width of the driveway, shall be provided from the edge of the paved portion of the street upon which the driveway is encroaching. Paved surfaces in vehicular areas shall be kept free from deterioration and maintained in a solid, integral pavement condition. For residential uses within residential zones, no portion of a front yard or corner side yard may be paved or otherwise covered with an impervious surface except for driveways, defined parking areas, sidewalks, and stoops and patios adjoining a building entrance. Exceptions to these requirements shall be determined by the Zoning Administrator upon written request of an applicant. **(THE FOLLOWING PASSAGE APPLIES TO THE CITY OF FLORENCE CITY LIMITS ONLY)** Provided that, for residential uses within residential zones, no more than 45% of a front yard or corner side yard may be paved or otherwise covered with an impervious surface.

SECTION 3315

Drainage

All parking and loading areas shall provide for proper and approved drainage of surface water (See Articles 30 and 31).

SECTION 3316

Lighting

Any parking area intended to be used during non-daylight hours shall be properly illuminated to avoid accidents. During the Plan Review Process, the Zoning Administrator has the authority to require plans specifying foot candle

minimums and illumination patterns when lighting is an integral part of a developments use (See Figure 33.5). Any lights used to illuminate any out-of-doors area shall be arranged to minimize direct illumination, reflection, or glare on any adjoining property or on any public street (See Article 31). Measurable light shall be less than one (1) footcandle at all property lines.

FIGURE 33.5

Proper Lighting Requirements

General Application	Average Footcandles
<u>Building Exterior-Site Areas Adjacent to</u>	
Active entrances-pedestrian or vehicle	5.0
Inactive entrances-normally locked	1.0
Vital locations or structures (security)	5.0
Building Surroundings	1.0
<u>Parking Areas</u>	
High Activity	3.6
Medium Activity	2.4
Low Activity	0.8
<u>Roadways-Non Dedicated and Private</u>	
High Activity	2.0
Medium Activity	1.0
Low Activity	0.5

SECTION 3317

Location of Parking Spaces

The following regulations shall govern the location of off-street parking spaces and areas:

1. Parking spaces for all detached or semi-detached residential uses shall be located on the same lot as the use which they are intended to service;
2. Off premises parking spaces for recreation, commercial, employment, or infrastructure uses shall be located not more than seven hundred (700) feet from the principal use;
3. Parking spaces for attached residential uses shall be located not more than five hundred (500) feet from the principal use. Off-street parking spaces for any residential use may not be in any public or street right-of-way.

SECTION 3318

Screening and/or Landscaping

Screening and landscaping of parking areas shall be in conformance of Article 31.

SECTION 3320

Joint Use

Two or more non-residential uses may jointly provide and use parking spaces when their hours of operation do not normally overlap. The use joint parking in lieu of required parking will require a written agreement between property owner and a parking study to be approved by the Zoning Administrator.

SECTION 3321

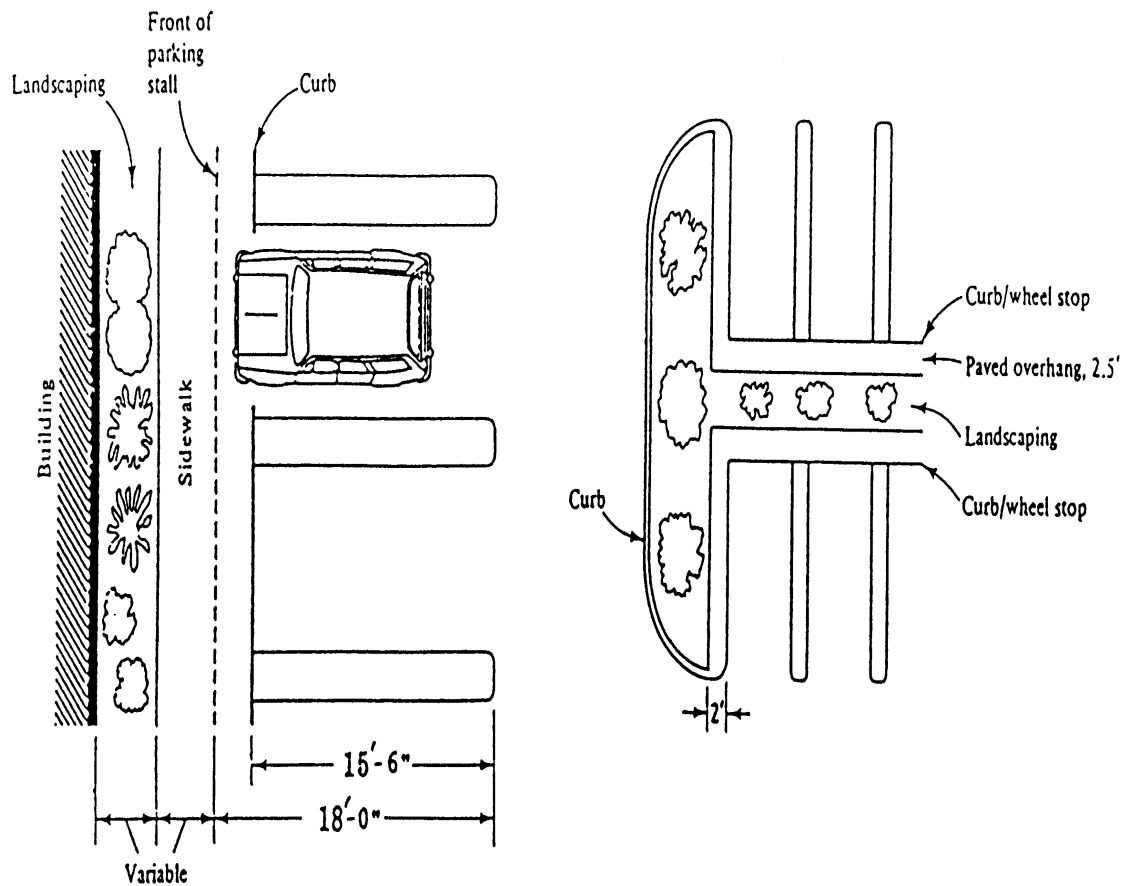
Wheel Blocks

Curbs, wheel blocks or other suitable devices must be provided to prevent vehicles from extending beyond a property line, pedestrian walk-way, or drainage area. A minimum of 2.5 feet should be provided for overhang of a vehicle. When a sidewalk is used as the wheel stop and overhang for a parking stall, the width of the sidewalk

shall be no less than 6 feet (See Figure 33.6; also refer to Section 3327).

FIGURE 33.6

Proper Location of Curbs



SECTION 3322

Access

Any parking area shall be designed in such a manner that any vehicle leaving or entering the parking area from or into a public or private street shall be traveling in a forward motion. Any parking area, except for single-family residential, duplexes and townhouses shall be designed in such a manner that any vehicle leaving or entering the parking area from or into a public or private street shall be traveling in a forward motion. Access driveways for parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible for a reasonable distance to any pedestrian or motorist approaching the access or driveway from a public or private street. Where possible and appropriate, inter-connecting parking lots shall be provided for the purpose of reducing the number of local trips onto public streets.

SECTION 3323

Internal Driveways

Interior vehicular circulation by way of access roads shall maintain the following minimum standards. No parking is to be allowed along internal driveways. For one-way traffic, the minimum width shall be fourteen (14) feet; for two-way traffic the minimum width shall be twenty (20) feet. Internal driveways must be clearly divided from parking areas with directional signs or markings in each aisle or driveway.

SECTION 3325

Parking Space Requirements

The following table outlines the formulas for determining the minimum number of required parking spaces. The maximum number of parking spaces which may be provided, for all uses except for single family dwellings, is thirty (30) percent greater than the required minimum number, unless a parking study acceptable to the Zoning Administrator is provided which demonstrates that a specific use or proposal has a greater parking need or demand.

USE / DISTRICT (WHICHEVER IS MORE RESTRICTIVE)	OFF-STREET PARKING CRITERIA
Recreational	
libraries, museums, and art craft galleries and other cultural exhibits	1.00 space per 400 gross floor area (gfa.)
amphitheaters, motion picture theaters, legitimate theaters, playhouses and other entertainment assemblies	1.00 space per four seats
stadiums, arenas, field houses and other sports assemblies	1.00 space per four seats
auditoriums, exhibit halls and other public or miscellaneous assembly	1.00 space per four seats
ice and roller skating rinks	1.00 space per 100 sf. of floor area used for the activity
bowling alleys	4.00 spaces per alley or lane plus 1.00 space per four seats or 1.00 space per 30 sf. of floor area used for restaurant, cocktail lounge or similar use
swimming pools	1.00 space per 5 person capacity plus 1.00 space per four seats or 1.00 space per 30 sf. of floor areas used for seating purposes - whichever is greater
tennis clubs	2.00 spaces per court plus 1.00 space per 3 employees plus 1.00 space per 4 spectator seats plus 1.00 space per 2 seats in any eating/drinking area plus 1.00 space per 250 sf. for any retail area
gymnasiums/fitness clubs	1.00 space per 200 gfa.
dance school studios, martial arts studios, and gymnastic schools	1.00 space per 150 gfa.

Residential

detached single-family and duplex dwelling types	adequate off-street parking must be provided for two vehicles
townhouse and multi-family dwelling types: efficiency and one bedroom units	1.5 spaces per unit
townhouse and multi-family dwelling types: two or more bedroom units	2.00 spaces per unit
mobile home park	2.00 spaces per mobile home unit

Commercial

when consolidated within integral centers in C-1, C-2, C-3, and C-4 districts	4.00 spaces per 1,000 gfa. up to 30,000 sf. 3.00 spaces per 1,000 gfa. thereafter
as individual retail stores	1.00 space per 250 gfa.
banks, financial institutions and similar uses	1.00 space per 250 gfa.
convenience stores with gas sales	1.00 space per 250 gfa. plus 1.00 space per 2 gasoline pumps
other types of businesses or commercial outlet	1.00 space per 300 gfa.

Employment

office, business, research and service uses in C-1, C-2, C-3, C-4 or O-1, O-2 I-1, I-2 or I-3 districts	1.00 space per 250 gfa. plus 1.00 space for each automobile used in the business, plus any additional parking area as required by Section 3326
office condominiums	1.00 space per 300 gfa. plus 1.00 space for each automobile used in the business, plus any additional parking area as required by Section 3326
light and heavy manufacturing, transportation, and other	1.00 space per two employees on the largest shift for which the building is designed or 1.00 space per 1,000 gfa,
industrial uses in an I-1, I-2 or I-3 district	whichever is greater, plus 1.00 space for each automobile used in the business, plus any additional parking area as required by Section 3326
warehouse and distribution uses in I-1 or I-2 district	1.00 space per employee on the largest shift for which the building is designed, plus 1.00 space for each automobile used in the business, plus any additional parking area as required by Section 3326

Public Facilities

Churches and other places of religious assembly	1.00 space per three seats
hospitals	1.00 space per bed
sanitariums, homes for the aged, nursing homes and similar uses	1.00 space per 2 beds
elementary and junior high schools	2.00 spaces per classroom plus, 1.00 space per 8 seats in auditorium or assembly halls
high schools	1.00 space per 5 seats in assembly hall of greatest capacity on the school grounds or 1.00 space per 9 students - whichever is greater
junior colleges, colleges and universities	1.00 space per 4 students
business, vocational, trade and similar schools	1.00 space per 2 students
public offices or buildings	1.00 space per 400 gfa.
police, fire, utility and other service	1.00 space per 2 employees on the largest uses shift for which the building is used plus 1.00 space for each motor vehicle maintained on the premises

Miscellaneous

automotive repair facilities and gasoline service stations	1.00 space per 2 gasoline pumps if applicable plus 2.00 spaces per service bay (access and circulation areas where a motor vehicle would be temporarily parked for the purpose of obtaining fuel from a gasoline pump shall not be considered acceptable parking spaces for the purpose of these regulations)
hotels, motels	1.00 space per sleeping room plus 1.00 space per 2 employees
funeral parlors, mortuaries	1.00 space per 100 gfa. in parlors or service rooms
eating and drinking establishments	1.00 space for every 2 seats including wait area seating, plus 1.00 space for each 20 sf of open wait area, plus 1.00 space per 250 gfa of any retail area, plus 4.00 spaces per billiard table, plus 1.00 space per 100 gfa. of dance floor area; any drive-in service spaces shall not be credited towards required spaces

medical and dental clinics

1.00 space per 200 gfa.

nursery and child care centers

2.00 spaces per each instructor/care giver, plus 1.00 space per employee, plus 1.00 space for each automobile used in the business, but not less than 6.00 spaces overall

SECTION 3326

General Interpretations

In the interpretation of this Article, the following rules shall govern:

1. Parking spaces for other permitted or conditional uses not listed in this Article shall be determined by the Zoning Administrator;
2. Fractional numbers shall be increased to the next whole number;
3. Where there is adequate public transit system or where for any other reason parking demand is unusually low, then the parking space provisions cited above may be reduced proportionately by the Zoning Administrator.
4. In employment districts, wherever parking of large trucks, vans, or tractor-trailers is planned or may reasonably be expected, a parking area of sufficient size to accommodate such vehicles parked on site shall be required. Such parking areas shall be clearly designated and marked, and shall be exclusive of driveways, aisles, and other circulation areas. The provision of parking areas for such vehicles shall under no circumstances cause a reduction in the minimum required number of automobile parking spaces.

SECTION 3327

Pedestrian/Bicycle Improvements

Sidewalk construction shall follow the construction requirements of the Boone County Subdivision Regulations. Requirements for the provision of adequate pedestrian walkways are as follows:

1. Walkways between parking areas, building entrances, and adjacent streets shall be provided.
2. Within the interior of a parking lot, landscaping shall be used to delineate vehicular and pedestrian circulation patterns. Clear and legible signs, different color and texture paving materials, raised areas, and other techniques should be used to further direct the flow of both vehicular and pedestrian traffic within the lot;
3. Pedestrian walks shall be lighted;
4. At appropriate intervals/locations, street furniture should be provided along the pedestrian walk.
5. Raised walkways shall be provided between buildings and immediately adjacent parking spaces (also refer to Section 3321).

A sufficient number and type of bicycle racks and associated facilities shall be provided at the entrance to each development/building. The parking shall be located so as to provide safety, security and convenience for bicycle riders. As such these facilities shall be located a safe distance from pedestrian and vehicular traffic. The following requirements apply to multi-family residential, commercial, and employment uses located within the cities of Florence, Walton and Union, and along collector and arterial roads within Boone County:

1. Provide at least two spaces for each 25 vehicular spaces required, with a minimum of four spaces for each development entrance/building. No more than 100 bicycle parking spaces shall be required for any individual development;
2. Locate parking facilities outside of vehicular or pedestrian traffic ways, by providing either a minimum three foot separation, or a curb or other physical barrier;

3. Parking facilities shall be constructed of durable, strong materials that can be permanently anchored to the ground and designed to allow the easy use of locks.
4. Sufficient lighting shall be provided.